



ANNOTATIONS

1R1S	1 ROD 1 SHELF
2R2S	2 ROD 2 SHELF
AFF	ABOVE FINISH FLOOR
A/V	AUDIO VISUAL
C.O.	CASED OPENING
COVD	COVERED
CPT	CARPET
DBL	DOUBLE
D/O	DOUBLE OVEN
DISP	GARBAGE DISPOSAL
D.V.	DIRECT VENT
DW	DISHWASHER
F.F.	FINISHED FLOOR
FLR	FLOOR
K/S	KNEE SPACE
MICRO	MICRO
REF/REFG	REFRIGERATOR
SLP	SLOPED (CEILING OR FLOOR)
SHVS	SHELVES
T&G	TONGUE AND GROOVE
U.C.	UNDER COUNTER
WIC	WALK IN CLOSET
WH	WATER HEATER
WS	WATER SOFTENER
AWN	AWNING
CSMT	CASEMENT WINDOW
DH	DOUBLE HUNG
DV	DIVIDED LIGHT
DR	DOOR
FX	FIXED GLASS
HDR HT	HEADER HEIGHT
LT	LITE
O.H.D.	OVERHEAD DOOR
OPNG	OPENING
PKT	POCKET DOOR
PNL	PANEL
SH	SINGLE HUNG
SLD	SLIDER
STL	STEEL
TRANS	TRANSOM

ENGINEERING:

J EDWARDS HOME DESIGNS IS NOT AN ENGINEERING FIRM, WE DO NOT QUALIFY TO BE ONE, NOR ARE WE LICENSED TO DESIGN STRUCTURAL FRAMING, WIND BRACING OR FOUNDATIONS. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED REGARDING FRAMING, WIND BRACING AND FOUNDATION DESIGNS. SHOULD AN ENGINEER SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WIND BRACING AND FOUNDATION DESIGNS FOR THIS PROJECT. J EDWARDS HOME DESIGNS IS NOT HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY MATTER OR FORM IF ANY PROBLEMS ARISE.

GENERAL PROJECT NOTES:

1. THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
2. ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
3. BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE DESIGNER, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.
4. WHILE THESE DRAWINGS ARE INTENDED TO SHOW SAME, THE DESIGNER IS NOT RESPONSIBLE FOR GOVERNING AUTHORITY INTERPRETATIONS WHERE THOSE INTERPRETATIONS CONFLICT WITH THESE DRAWINGS &/OR SPECS.
5. DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY ERRORS OR NEGLIGENCE MADE BY ROOFING CONTRACTOR, CONCERNING FLASHING & WATER PROOFING ON THIS PROJECT
6. THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING &/OR WATERPROOFING.
7. THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/MATERIALS SELECTED WHEN INSTALLED.
8. ALL COMPONENTS, MATERIALS, ASSEMBLIES AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES.
9. DESIGNER IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING, LOAD CONNECTIONS AND MECHANIC, ELECTRICAL AND PLUMBING SYSTEMS.
10. ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT, IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY. CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS CALLED FOR.
11. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
12. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.
13. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRUCIAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
14. ALL DIMENSIONS SHOWN ON PLAN ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRING.
15. THE CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCING WORK.
16. THE CONTRACTOR IS TO FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO LEGALLY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.
17. VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.
18. IN CASE OF DISCREPANCIES OR CONFLICTS ON THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, CONTACT THE DESIGNER OR OWNER BEFORE PROCEEDING WITH THE WORK.
19. FINAL SELECTIONS FOR ALL FINISHES, FINISH MATERIALS, COLORS, TEXTURES, ETC. SHALL BE MADE BY THE BUILDER OR OWNER.
20. ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.
21. WINDOW MANUFACTURER & BUILDER TO VERIFY EGRESSIBLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.
22. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES, VERIFY ACTUAL SIZES, AND ROUGH OPENING REQUIREMENTS WITH WINDOW MANUFACTURER.
23. PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.
24. IF APPLICABLE, PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE NECESSARY PLUMBING FOR POOL &/OR SPA. VERIFY LOCATION WITH BUILDER OR OWNER. BUILDER TO VERIFY SIZING AND LOCATION OF ALL APPLIANCES & RELATED COMPONENTS.
25. WEATHERSTRIP ATTIC ACCESS DOOR(S).
26. CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS. PROVIDE 1 S.F. NET FREE AREA OF ATTIC VENTILATION PER 150 S.F. OF TOTAL COVERED ROOF AREA AS PER CODE.
27. PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS PATIOS AND STUCCO WALLS
28. PROVIDE WEATHERSEAL AND A 9 1/2" MASONRY DOOR SILL AT ALL EXTERIOR DOOR THRESHOLDS.
29. ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2x6 STUDS. IF WALLS OVER 10'-0" IN HEIGHT ARE NOT BUILT WITH 2x6 STUDS THEY MUST BE BUILT WITH DOUBLE 2x4 STUDS AT 12" O.C.
30. THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1 1/2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP. THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 7'-0" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
31. PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.
32. ALL FIREPLACES 12" NON-COMBUSTIBLE SURROUND
33. ALL OVERHANGS TO BE 18" FROM THE FRAME WALL UNLESS NOTED OTHERWISE.
34. U.N.O. ALL INTERIOR WALLS OF ONE STORY PLANS TO BE LOAD BEARING.
35. ALL EXTERIOR OPENINGS TO BE LOAD BEARING.
36. WHEN ENGINEERED TRUSSES TO BE USED TRUSS DESIGN & SPACING TO BE PER ENGINEER'S SPECIFICATIONS.
37. THE DESIGN & SIZING OF ALL LOAD BEARING HEADERS, STRUCTURAL BEAMS AND TRUSSES IS THE RESPONSIBILITY OF THE AGENT (ENGINEER/TRUSS MANUFACTURER, ETC.) CHOSEN BY THE BUILDER/OWNER TO DO SAID DESIGN.
38. ALL PLUMBING, APPLIANCE AND GAS VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF AND KEPT TO REAR OF ROOF WHEREVER POSSIBLE.
39. CHIMNEY/FLUE SHOWN AT MINIMUM DIMENSIONAL HEIGHT REQUIREMENTS PER CODE. BUILDER RESPONSIBLE FOR CONSTRUCTING CHIMNEY/FLUE TO ENSURE PROPER DRAW FOR FIREPLACE BASED ON HOUSE & SITE ORIENTATION VERSUS PREVAILING WINDS.
40. CHIMNEY CAP TO BE BUILT WITH NON-COMBUSTIBLE MATERIALS.
41. LAVATORIES AND SINKS SHOWN ARE NOT ACTUAL FIXTURE. CHECK WITH BUILDER/DESIGNER/OWNER FOR ACTUAL FIXTURE STYLE AND SIZE.
42. APPLIANCE DIMENSIONS MAY VARY. CHECK WITH BUILDER FOR EXACT DIMENSIONS.
43. PROVIDE VENT HOLES AS REQUIRED FOR AIR CIRCULATION OF IN-CABINET COMPUTER EQUIPMENT.
44. TOP & SPLASH MATERIAL AT ALL CABINETS TO BE AS PER SPECS.
45. CROWN MOLDING, INTERIOR WINDOW/DOOR TRIM, BASEBOARD & TILE SHOWN TO BE PER OWNER &/OR INTERIOR DESIGNER.
46. ALL WORK DONE UNDER THIS SECTION SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.
47. ELECTRICAL SUBCONTRACTOR TO MAKE ALL NECESSARY ELEC. CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE AT MECHANICAL ROOM. ELECTRICAL CONTRACTOR TO COORDINATE AS REQUIRED WITH MECHANICAL SUBCONTRACTOR.
48. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF WIRING, INSTALLATION OF FIXTURES AND EQUIPMENT, AND FOR FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE UNDERWRITERS AND BY LOCAL ELECTRICAL INSPECTORS.
49. COORDINATE WITH CONSTRUCTION SPECIFICATIONS FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
50. PREWIRE FOR SECURITY SYSTEM PER OWNERS REQUEST
51. SUPPLY 220v & 110v OR GAS & 110v TO HVAC UNIT(S) IN ATTIC. (REFER TO SPECS) PROVIDE POWER AS REQD. AT A/C COMPRESSOR UNITS.
52. PROVIDE FOR LIGHT NEAR HVAC UNIT(S) IN ATTIC.
53. PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER
54. SMOKE DETECTORS SHOULD BE LOCATED IN EACH BEDROOM AND AS SHOWN. ALL SMOKE DETECTORS SHALL BE HARD WIRED TO PRIMARY ELECTRICAL SERVICES WITH BATTERY BACKUP.
55. ALL CONSTRUCTION SHALL CONFORM TO ALL LOCAL BUILDING CODES.
56. ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE FROM FACE OF STUDS AND/ OR STONE VENEER UNLESS OTHERWISE NOTED.
57. CONTRACTOR SHALL NOTIFY DESIGNER UPON DISCOVERY OF ANY ERRORS OR DISCREPANCY OF DIMENSIONS, CLEARANCES, OR OTHER ITEMS AS SHOWN OR NOTED IN THESE DRAWINGS.
58. COORDINATE ALL WINDOW SIZES AND LOCATIONS AS NOTED ON FLOOR PLAN WITH SELECTED ELEVATION OPTIONS.
59. HVAC SYSTEM SHALL BE DESIGNED BY MECHANICAL SUB-CONTRACTOR AND APPROVED BY DESIGNER OR GENERAL CONTRACTOR. SYSTEM SHALL HAVE A S.E.E.R. RATING OF 14 OR AS REQUIRED BY LOCAL BUILDING CODES. UNITS SHALL BE DESIGNED AS DIRECTED BY CONTRACTOR. PROVIDE ALL SUCTION LINES FROM UNITS TO EXTERIOR CONDENSER UNITS AS INDICATED ON SITE PLAN. PROVIDE 4" THICK CONCRETE PADS WITH 6x6x10 WWF REINFORCING. LOCATE AIR HANDLING UNITS IN ATTIC SPACE NEAR RETURN AIR CHASES AS INDICATED ON THE FLOOR PLAN.
60. FOUNDATION PLAN TO BE DESIGNED BY A QUALIFIED ENGINEER.
61. PROVIDE ATTIC VENTING AS REQUIRED BY LOCAL CODES.

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FINAL

EVERVIEW
HOMES

BUILDER:

102 PRAIRE
LOT 20121
HORSEHOSE BAY, TX

PROJECT ADDRESS

EVERVIEW HOMES

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J Edwards
Home Designs

DESIGNER:

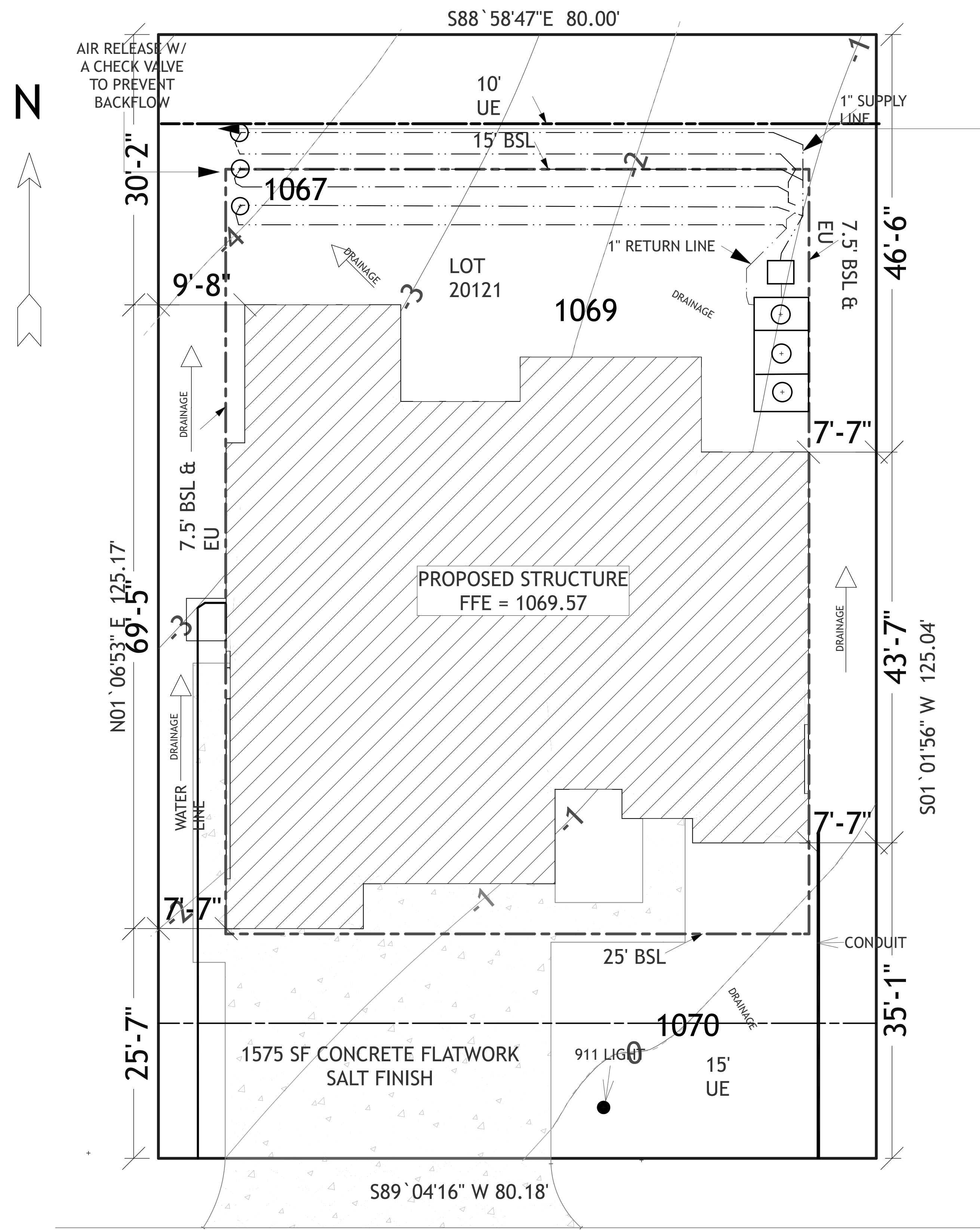
DATE:
7/12/2023

SCALE:
1/4" = 1'

SHEET:
1

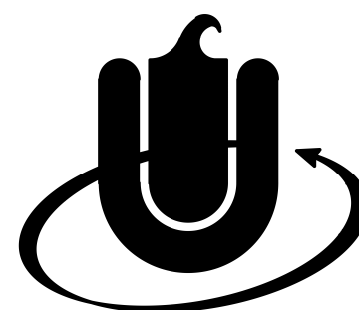
NO TREES ON LOT
NOT TREES WILL BE REMOVED

50.7% IMPERVIOUS AREA

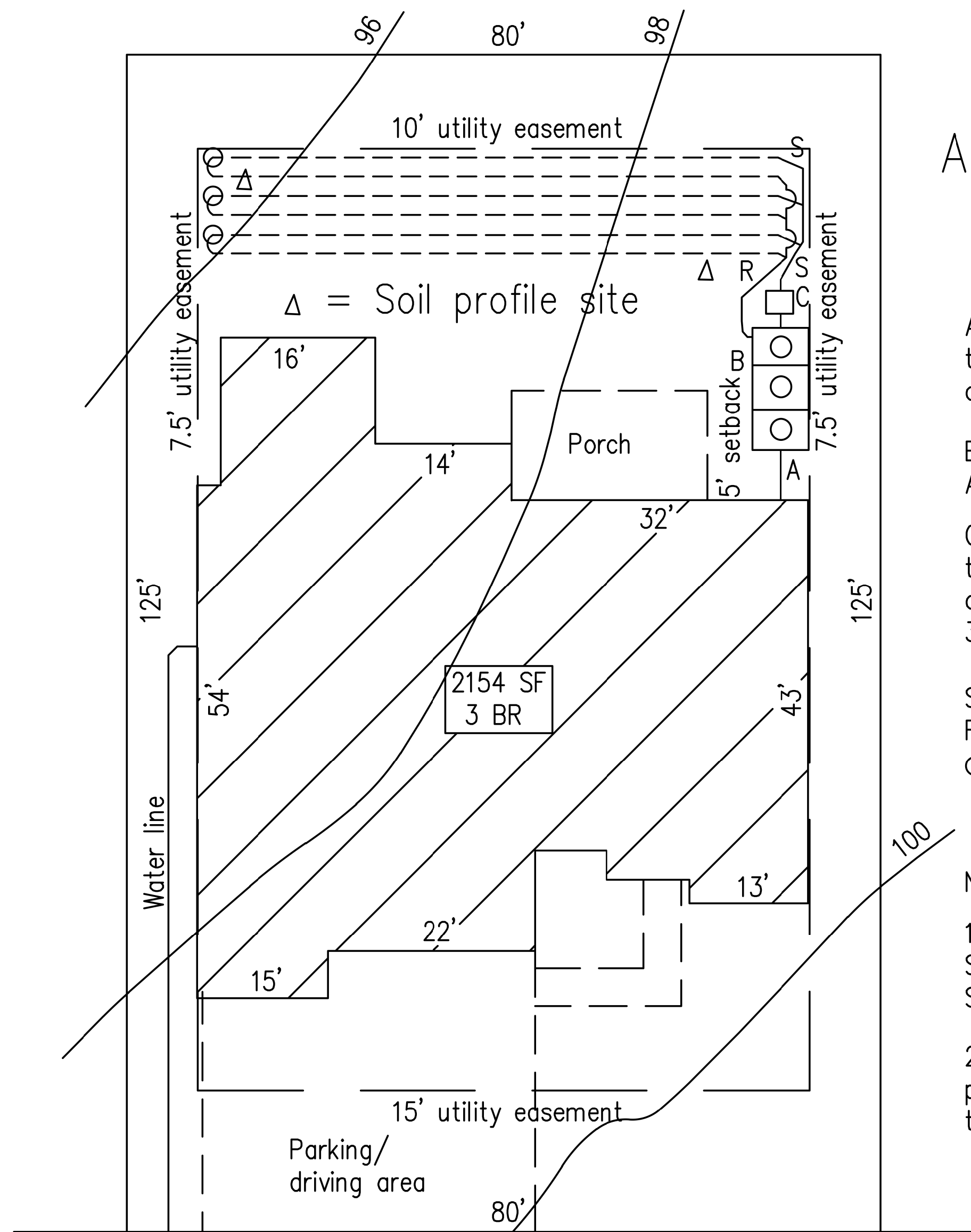


PRAIRE - 50' ROW

SITE PLAN
SCALE: 1/8" = 1'



Septic Systems Express
DBA of Frank Aguirre and Associates, Inc.



NOTE: The contractor may make field adjustments to the system so as to better fit specific site conditions encountered. All angles, lengths and locations shown are approximate and are adjustable during the actual system installation.

1" = 20'



ACSB LDR PROPERTY
9 FEB 2023

A = Min. 5' of 4" pvc, Sch. 40, tightline with a cleanout within 3' of the house

B = Pre-treatment, 500 gpd ATU, chlorinator, and pump tank

C = Drip management system to include a 100 micron filter and a pressure regulator set to 30 psi

S = 1" Supply line

R = 1" Return line

○ = Air release with a check valve to prevent backflow

NOTES:

1) This drip design calls for SOIL SUBSTITUTION with Class 1b soil. See SPECS for more information.

2) A single check valve shall be placed at the end of each zone to prevent backflow into any tubing

Frank Aguirre



RS 994
OS 10807
DR 30400

SEPTIC PLAN

FINAL

EVERVIEW
HOMES

BUILDER:
102 PRAIRE
LOT 20121
HORSESHOE BAY, TX

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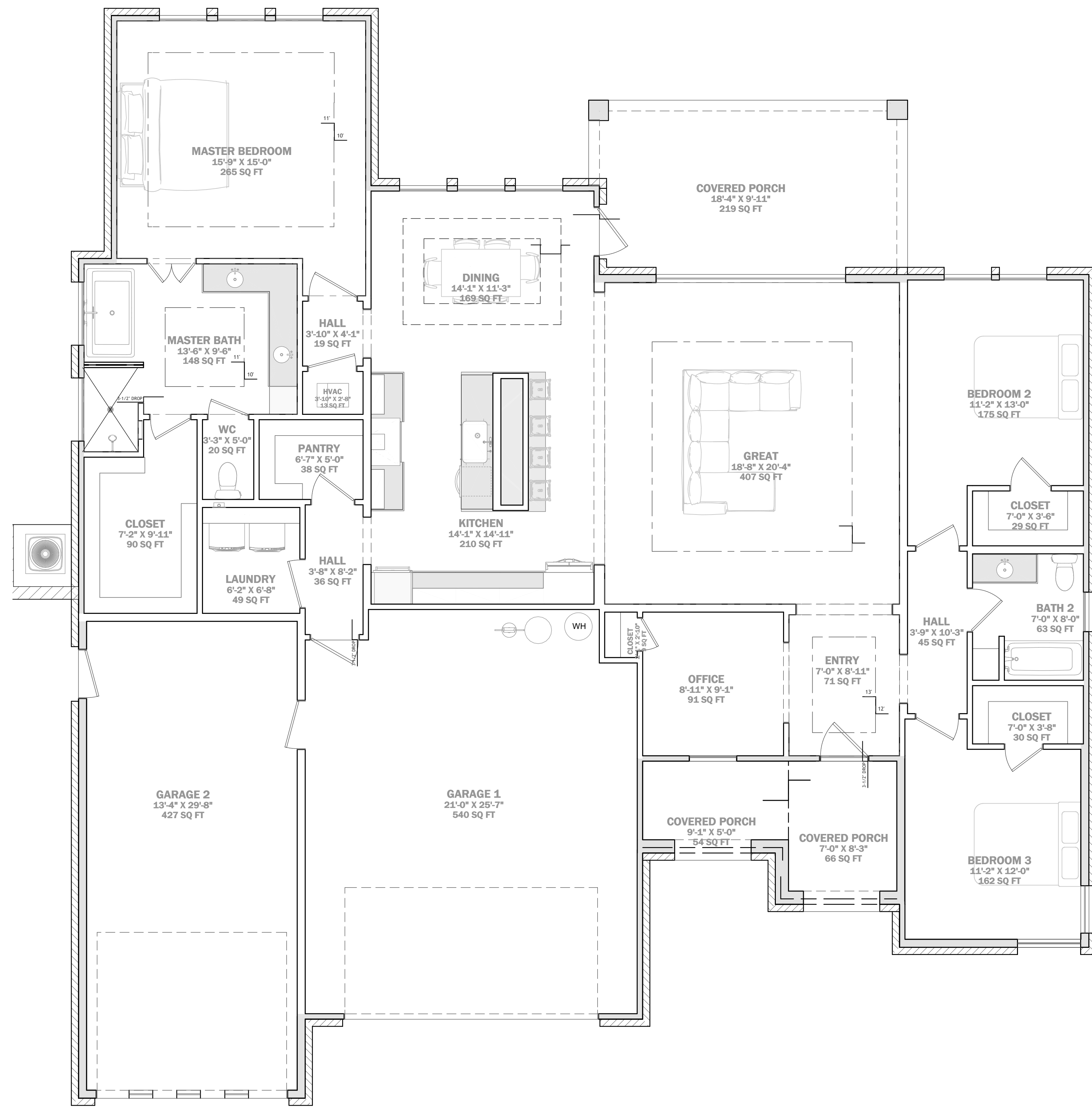
DESIGNER:
J Edwards
Home Designs

DATE:
7/12/2023

SCALE:
1/4" = 1'

SHEET:
2

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GENERAL ANNOTATIONS

- | | |
|----------|---------------------------|
| 1R1S | 1 ROD 1 SHELF |
| 2R2S | 2 RODS 2 SHELVES |
| AFF | ABOVE FINISH FLOOR |
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| SHLVS | SHELVES |
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| U.C. | UNDER COUNTER |
| WIC | WALK IN CLOSET |
| WH | WATER HEATER |
| WS | WATER SOFTENER |

WINDOW AND DOOR ANNOTATIONS

- | | |
|--------|------------------------|
| AWN | AWNING |
| DC | DOUBLE CASEMENT WINDOW |
| DH | DOUBLE HUNG |
| DV | DIVIDED LIGHT |
| DR | DOOR |
| FX | FIXED GLASS |
| HDR HT | HEADER HEIGHT |
| LS | LEFT SLIDER WINDOW |
| LT | LITE |
| O.H.D. | OVERHEAD DOOR |
| OPNG | OPENING |
| PKT | POCKET DOOR |
| PNL | PANEL |
| PT | PASS THROUGH |
| RS | RIGHT SLIDER WINDOW |
| SC | SINGLE CASEMENT WINDOW |
| SH | SINGLE HUNG |
| SLD | SLIDER |
| STL | STEEL |
| TRANS | TRANSOM |

BUILDING AREA

FIRST FLOOR (AC)	2154 SF
FRONT PORCH	120 SF
REAR PORCH	219 SF
GARAGE	967 SF
TOTAL LIVABLE (AC)	2154 SF
BRICK LUG	116 SF
TOTAL SLAB	3576 SF

FIRST FLOOR PLAN OVERVIEW

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FINAL

EVERVIEW HOMES

BUILDER:

PROJECT ADDRESS:
 102 PRAIRE
 LOT 20121
 HORSESHOE BAY, TX

EVERVIEW HOMES

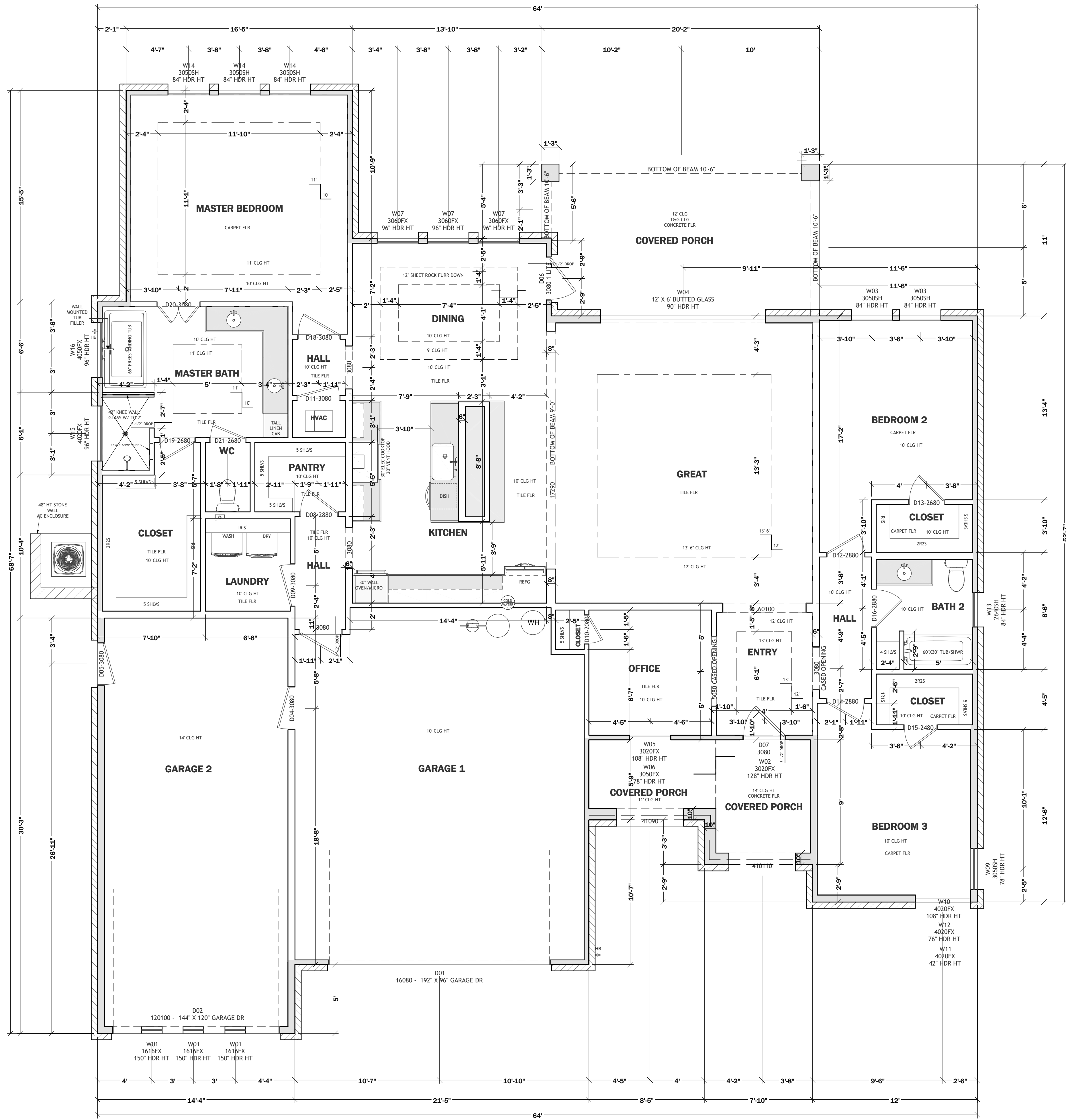
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J Edwards
 Home Designs

DATE:
7/12/2023

SCALE:
1/4" = 1'

SHEET:
3



FIRST FLOOR PLAN DIMENSIONAL

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7/12/2023

SCALE:
1/4" = 1'

SHEET:
4

PROJECT ADDRESS

EVERVIEW HOMES

102 PRAIRE
LOT 20121
HORSEHOSE BAY, TX

BUILDER:

FINAL
EVERVIEW
HOMES

DOOR SCHEDULE - CONTRACTOR MUST VERIFY DOOR COUNT, STYLE, TYPE AND LOCATION.										
ELEV	NUMBER	ROOM NAME	FLOOR	QTY	WIDTH	HEIGHT	HINGE SIDE	SWING SIDE	TYPE	LABEL
	D01	GARAGE 1	1	1	192 "	96 "		IN	GARAGE	D01 16080 - 192" X 96" GARAGE DR
	D02	GARAGE 2	1	1	144 "	120 "		IN	GARAGE	D02 120100 - 144" X 120" GARAGE DR
	D03	GARAGE 1/HALL	1	1	36 "	96 "	R	OUT	HINGED	3080
	D04	GARAGE 1/GARAGE 2	1	1	36 "	96 "	R	OUT	HINGED	D04-3080
	D05	GARAGE 2	1	1	36 "	96 "	L	IN	HINGED	D05-3080
	D06	DINING/COVERED PORCH	1	1	36 "	96 "	L	OUT	HINGED	D06 3080 1 LITE
	D07	ENTRY/COVERED PORCH	1	1	36 "	96 "	R	IN	HINGED	D07 3080
	D08	PANTRY/HALL	1	1	32 "	96 "	R	IN	HINGED	D08-2880
	D09	HALL/LAUNDRY	1	1	36 "	96 "	L	OUT	HINGED	D09-3080
	D10	CLOSET/OFFICE	1	1	24 "	96 "	L	OUT	HINGED	D10-2080
	D11	HALL/HVAC	1	1	36 "	96 "	L	IN	HINGED	D11-3080
	D12	HALL/BEDROOM 2	1	1	32 "	96 "	L	OUT	HINGED	D12-2880
	D13	CLOSET/BEDROOM 2	1	1	30 "	96 "	R	OUT	HINGED	D13-2680
	D14	HALL/BEDROOM 3	1	1	32 "	96 "	R	OUT	HINGED	D14-2880
	D15	CLOSET/BEDROOM 3	1	1	28 "	96 "	L	OUT	HINGED	D15-2480
	D16	BATH 2/HALL	1	1	32 "	96 "	R	IN	HINGED	D16-2880
	D18	HALL/MASTER BEDROOM	1	1	36 "	96 "	R	OUT	HINGED	D18-3080
	D19	MASTER BATH/CLOSET	1	1	30 "	96 "	L	OUT	HINGED	D19-2680
	D20	MASTER BATH/MASTER BEDROOM	1	1	36 "	96 "	L/R	IN	DOUBLE HINGED	D20-3080
	D21	MASTER BATH/WC	1	1	30 "	96 "	R	IN	HINGED	D21-2680

WINDOW SCHEDULE - CONTRACTOR MUST VERIFY WINDOW COUNT, STYLE, TYPE, AND LOCATION									
ELEV	NUMBER	FLOOR	ROOM NAME	QTY	WIDTH	HEIGHT	HDR HT	TYPE	LABEL
	W01	1	GARAGE 2	3	18 "	18 "	150"	FIXED GLASS	W01 1616FX 150" HDR HT
	W02	1	ENTRY/COVERED PORCH	1	36 "	24 "	128"	FIXED GLASS	W02 3020FX 128" HDR HT
	W03	1	BEDROOM 2	2	36 "	60 "	84"	SINGLE HUNG	W03 3050SH 84" HDR HT
	W04	1	GREAT/COVERED PORCH	1	144 "	72 "	90"	FIXED GLASS	W04 12' X 6' BUTTED GLASS 90" HDR HT
	W05	1	OFFICE/COVERED PORCH	1	36 "	24 "	108"	FIXED GLASS	W05 3020FX 108" HDR HT
	W06	1	OFFICE/COVERED PORCH	1	36 "	60 "	78"	FIXED GLASS	W06 3050FX 78" HDR HT
	W07	1	DINING	3	36 "	72 "	96"	FIXED GLASS	W07 3060FX 96" HDR HT
	W09	1	BEDROOM 3	1	36 "	60 "	78"	SINGLE HUNG	W09 3050SH 78" HDR HT
	W10	1	BEDROOM 3	1	48 "	24 "	108"	FIXED GLASS	W10 4020FX 108" HDR HT
	W11	1	BEDROOM 3	1	48 "	24 "	42"	FIXED GLASS	W11 4020FX 42" HDR HT
	W12	1	BEDROOM 3	1	48 "	24 "	76"	FIXED GLASS	W12 4020FX 76" HDR HT
	W13	1	BATH 2	1	30 "	48 "	84"	SINGLE HUNG	W13 2640SH 84" HDR HT
	W14	1	MASTER BEDROOM	3	36 "	60 "	84"	SINGLE HUNG	W14 3050SH 84" HDR HT
	W15	1	MASTER BATH	1	48 "	24 "	96"	FIXED GLASS	W15 4020FX 96" HDR HT
	W16	1	MASTER BATH	1	48 "	60 "	96"	FIXED GLASS	W16 4050FX 96" HDR HT

WINDOW AND DOOR SCHEDULE

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FINAL



BUILDER:

102 PRAIRE
LOT 20121
HORSESHOE BAY, TX

PROJECT ADDRESS

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830-460-3455

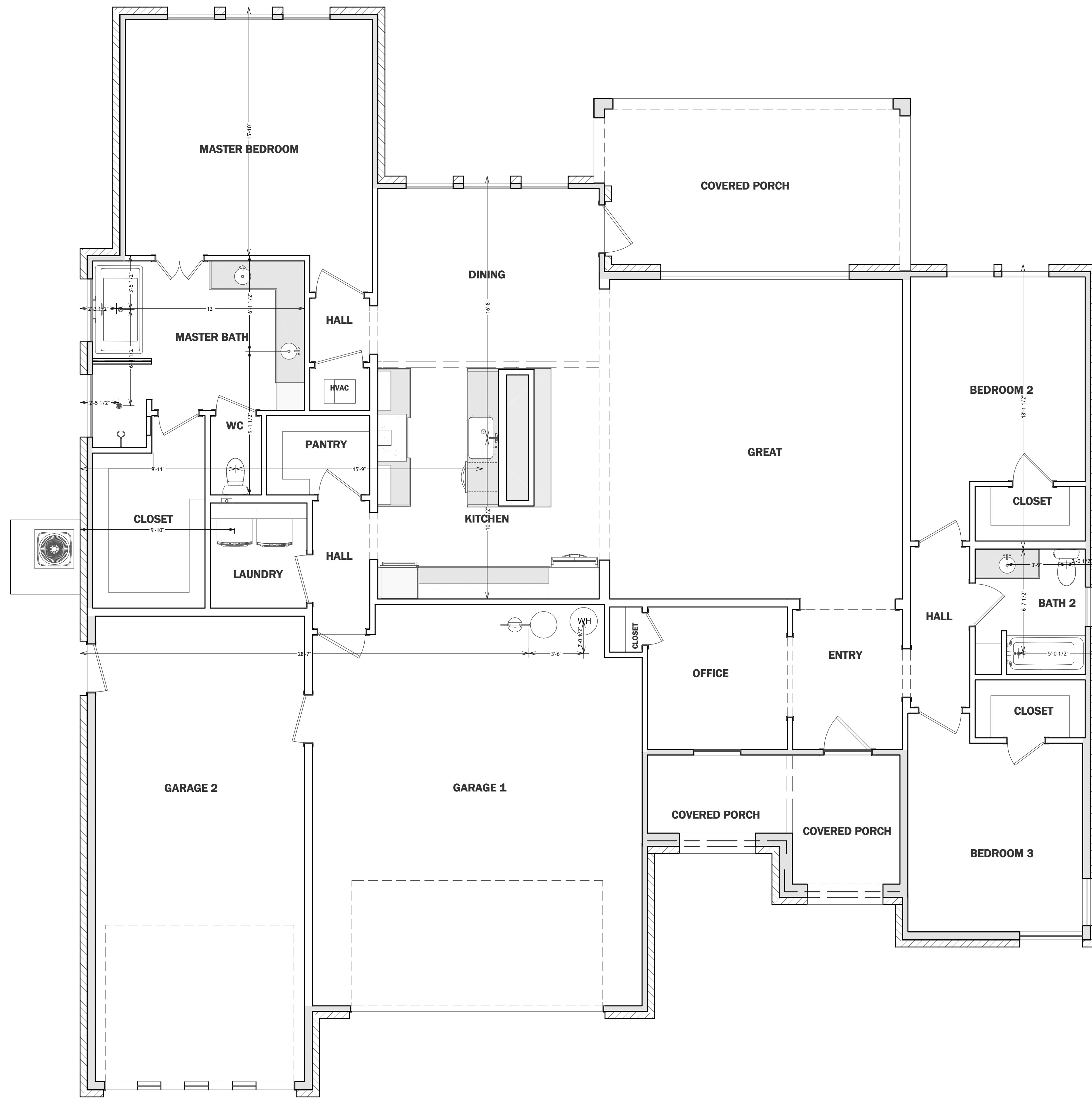


DESIGNER:

DATE:
7/12/2023

SCALE:
1/4" = 1'

SHEET:
5



PLUMBING PLAN

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DATE:
7/12/2023

SCALE:
1/4" = 1'

SHEET:
6

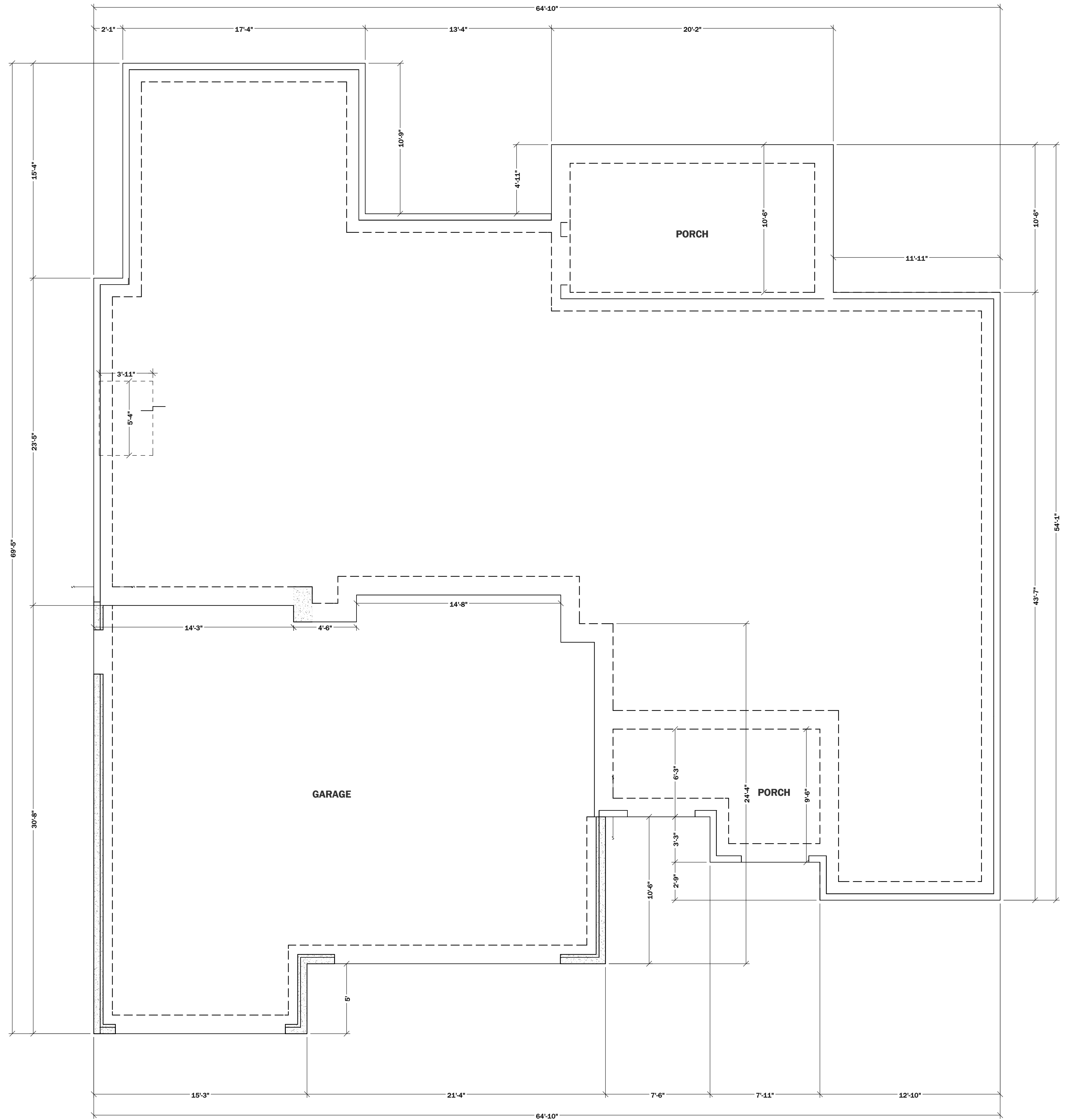
DESIGNER:
J Edwards
Home Designs

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EVERVIEW HOMES

PROJECT ADDRESS
102 PRAIRE
LOT 20121
HORSEHOSE BAY, TX

BUILDER:
EVERVIEW
HOMES
FINAL



FOUNDATION PLAN
 (DIMENSIONAL ONLY) FOUNDATION
 TO BE PROFESSIONALLY
 ENGINEERED

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DATE:
7/12/2023

SCALE:
1/4" = 1'


SHEET:
7

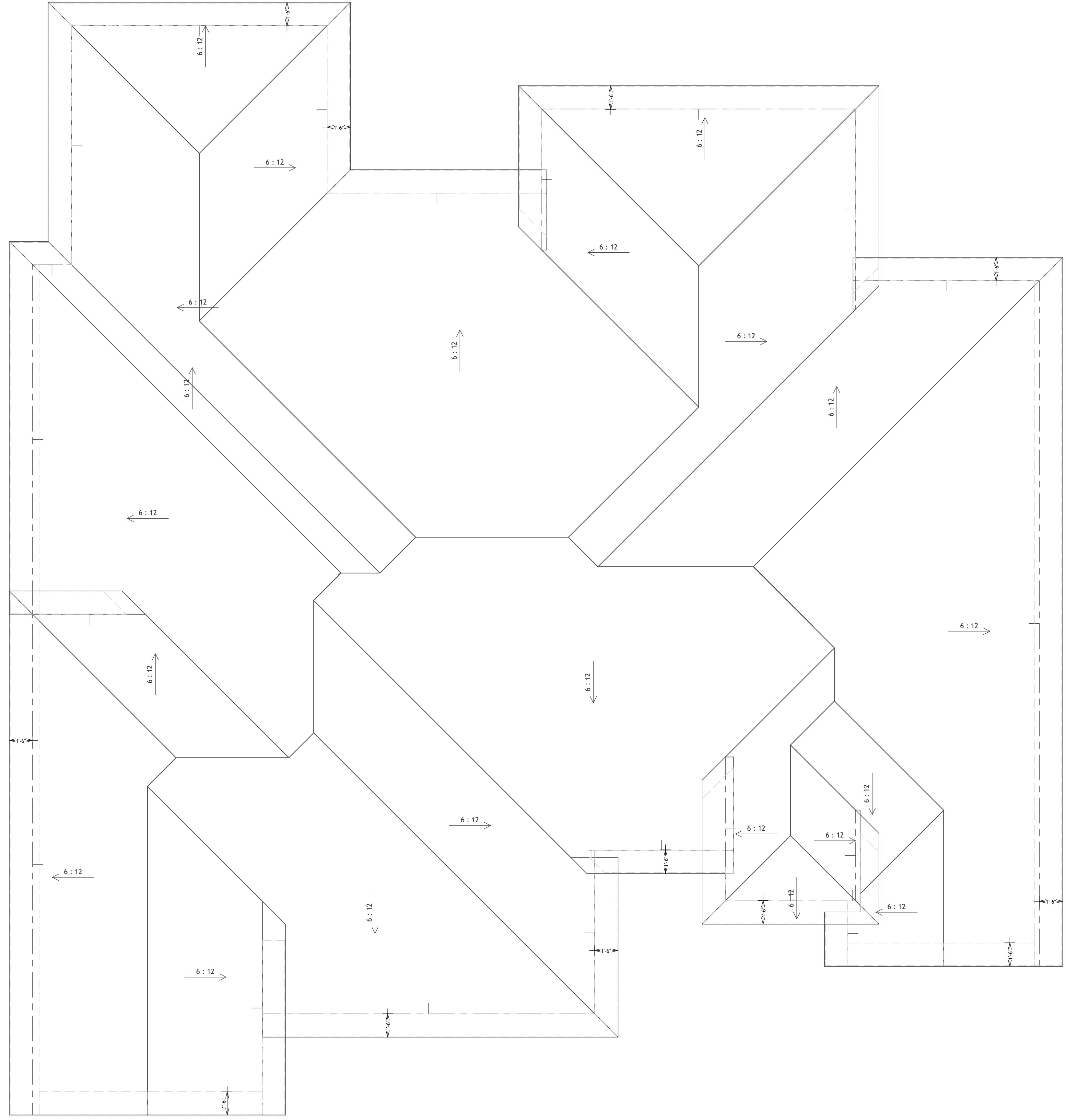
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EVERVIEW HOMES

PROJECT ADDRESS
 102 PRAIRE
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 HORSEHOSE BAY, TX

BUILDER:

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ROOF PLAN

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 830-460-3455

DATE:
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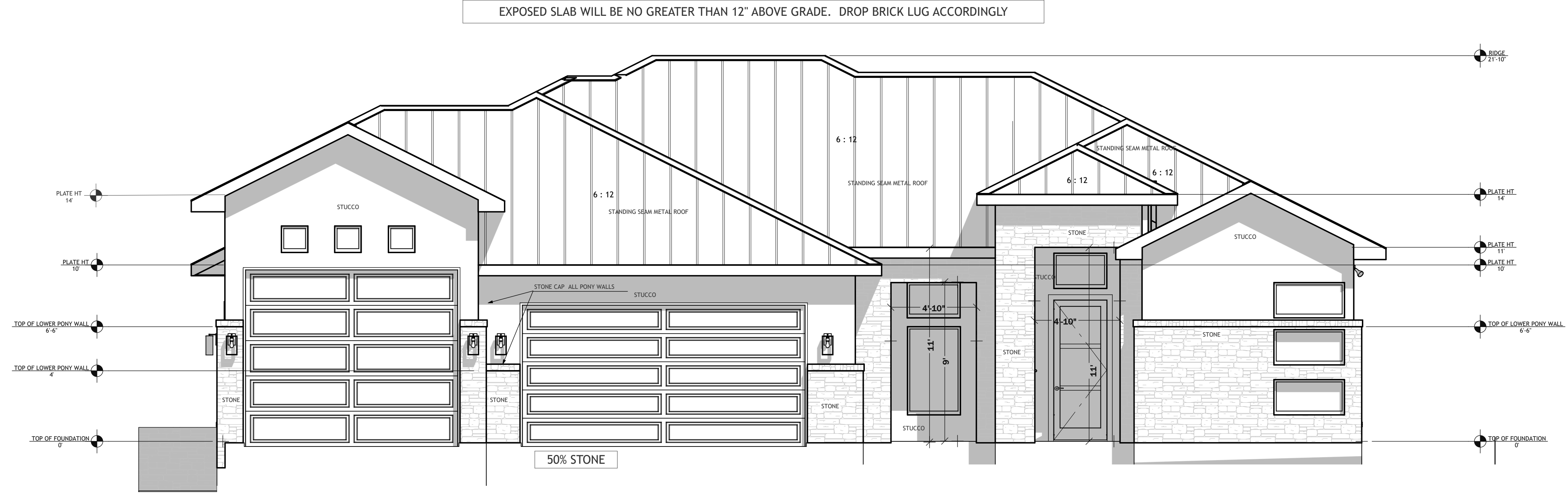
SCALE:
 1/4" = 1'

SHEET:
 8

PROJECT ADDRESS:
 102 PRAIRE
 LOT 20121
 HORSEHOSE BAY, TX

BUILDER:
EVERVIEW
 HOMES

FINAL



FRONT ELEVATION



LEFT ELEVATION

ELEVATIONS

EXPOSED SLAB WILL BE NO GREATER THAN 12" ABOVE GRADE. DROP BRICK LUG ACCORDINGLY

EXPOSED SLAB WILL BE NO GREATER THAN 12" ABOVE GRADE. DROP BRICK LUG ACCORDINGLY

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FINAL

EVERVIEW HOMES

PROJECT ADDRESS
 102 PRAIRE LOT 20121 HORSEHOE BAY, TX

EVERVIEW HOMES

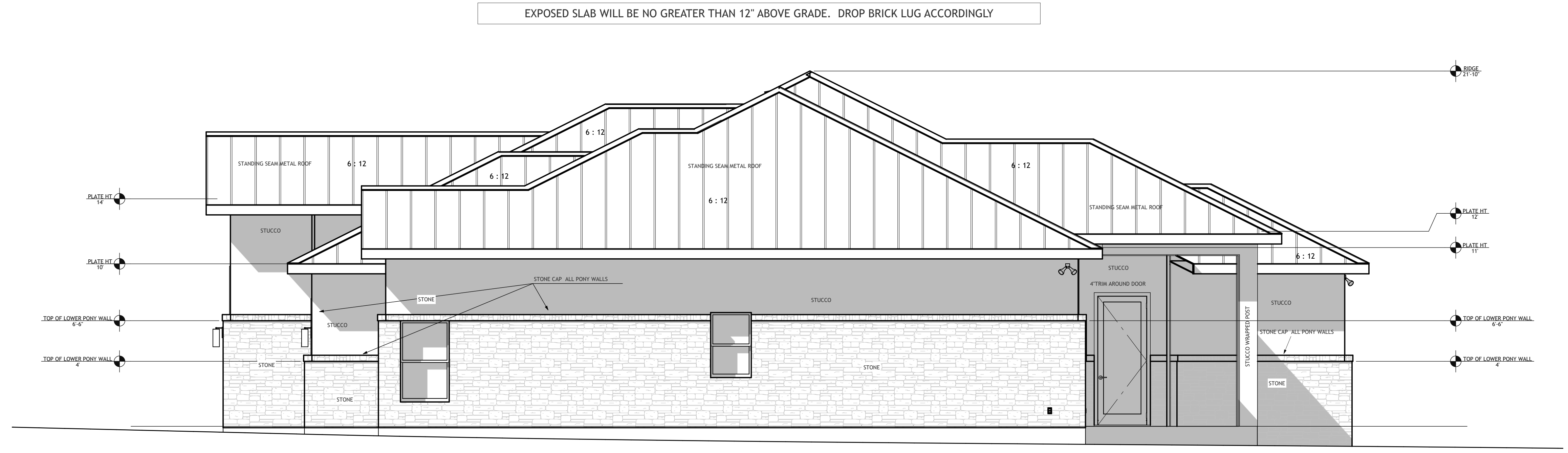
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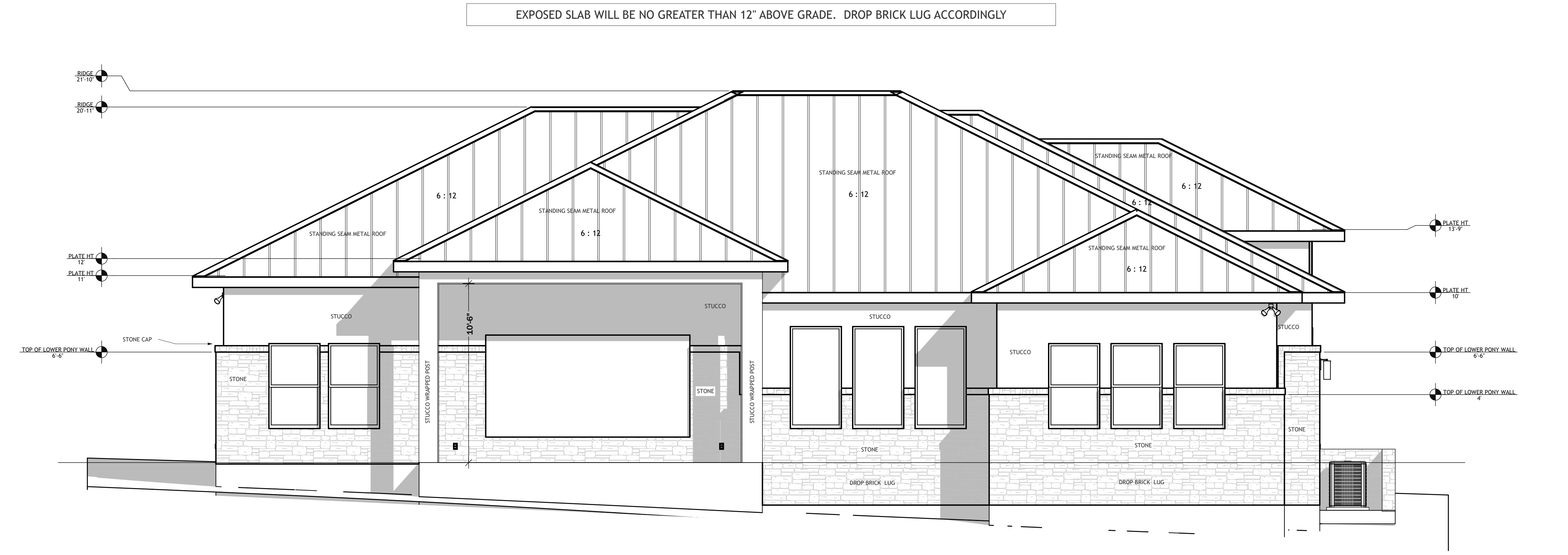
DATE:
 7/12/2023

SCALE:
 1/4" = 1'

SHEET:
 9



57% STONE
RIGHT ELEVATION



REAR ELEVATION

ELEVATIONS

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EVERVIEW HOMES

BUILDER:

PROJECT ADDRESS:
 102 PRAIRE
 LOT 20121
 HORSEHOSE BAY, TX

EVERVIEW HOMES

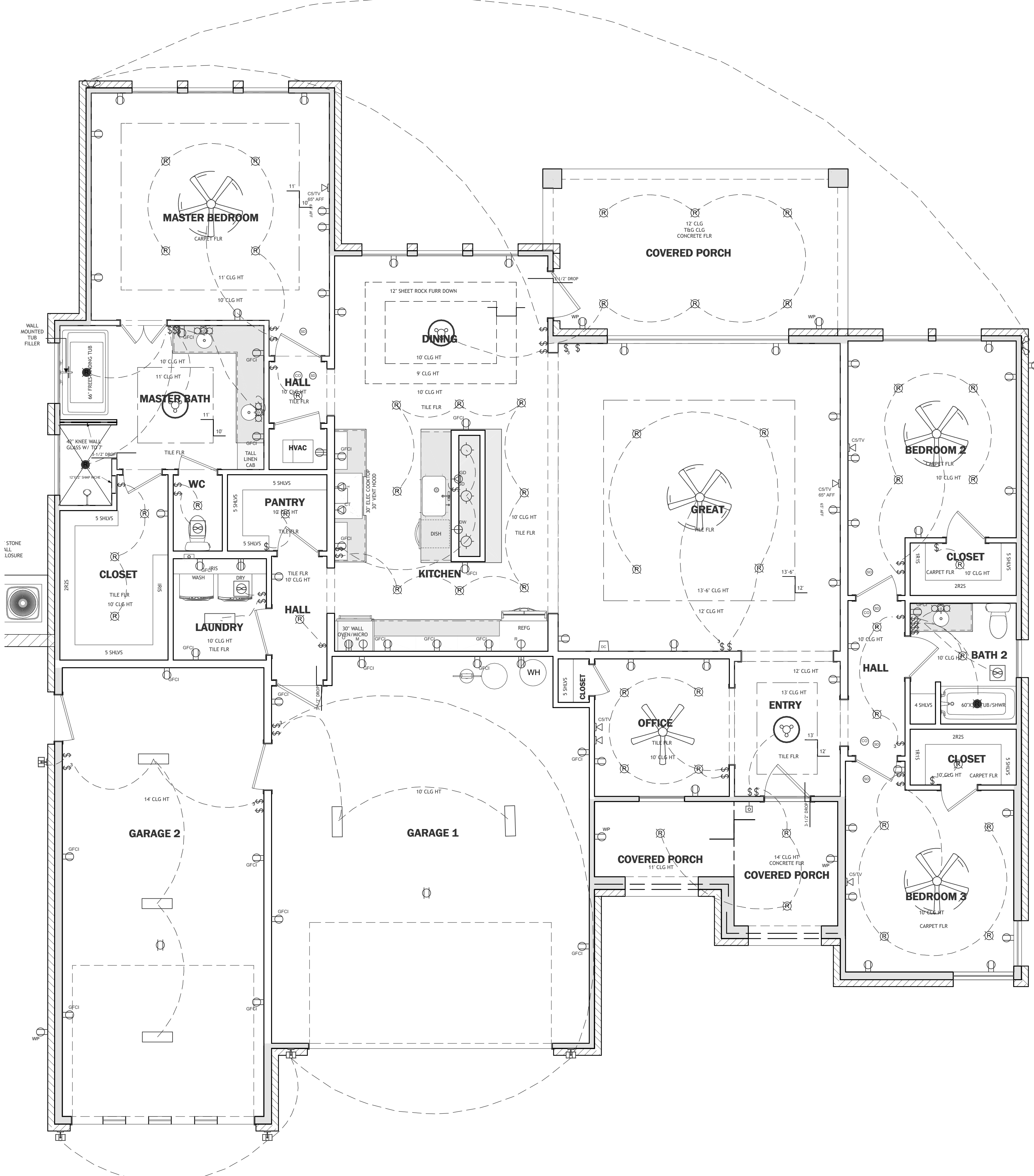
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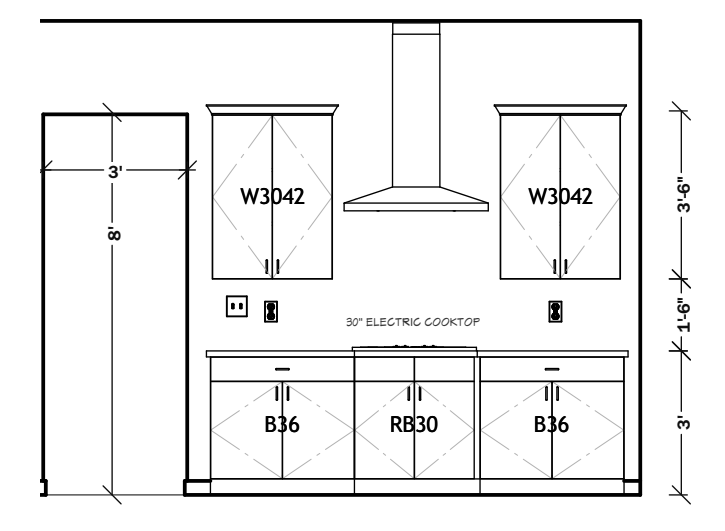
SCALE:
 1/4" = 1'

SHEET:
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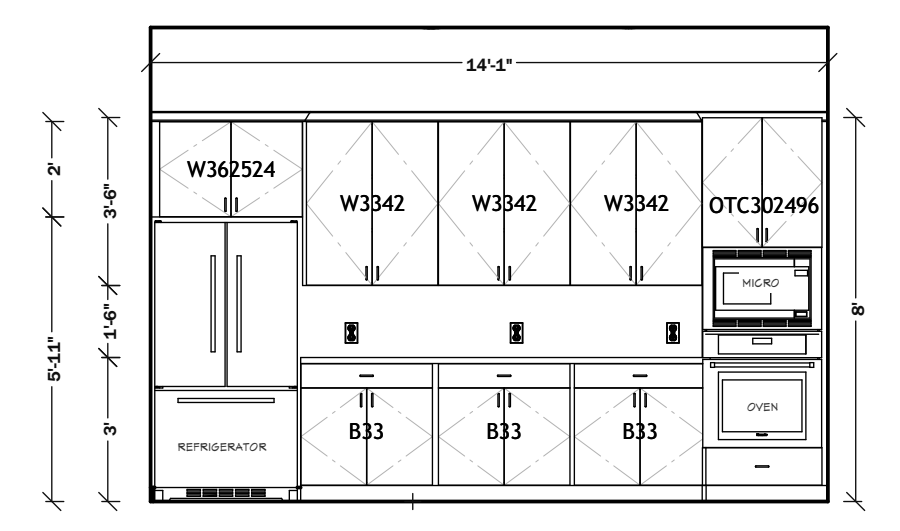


ELECTRICAL PLAN

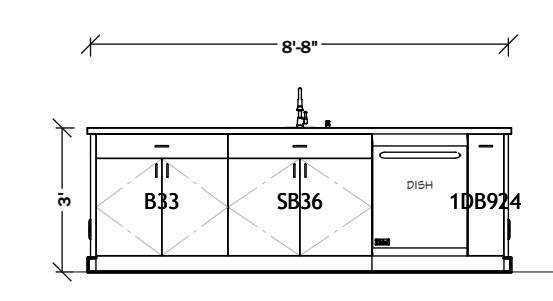
ELECTRICAL SCHEDULE - CONTRACTOR MUST VERIFY FIXTURE, SWITCH AND OUTLET COUNT, STYLE, TYPE, AND LOCATION.		
QTY	SYMBOL	LABEL
3		220V
1		TELEPHONE JACK
3		CATS W/ TV
3		CO DETECTOR
1		COOKTOP OUTLET
1		DISHWASHER OUTLET
1		DOORBELL
38		DUPLEX
6		DUPLEX (WEATHERPROOF)
2		DUPLEX OUTLET, CEILING MOUNTED
3		EXHAUST
24		GFCI
1		GARBAGE DISPOSAL OUTLET
1		GARBAGE DISPOSAL SWITCH
3		HANGING LIGHT
1		MICROWAVE OUTLET
1		OVEN OUTLET
45		RECESSED DOWN LIGHT 6"
3		RECESSED VAPOR LIGHT
1		REFRIGERATOR OUTLET
38		SINGLE POLE
6		SMOKE DETECTOR
4		RECESSED DOWN LIGHT
6		THREE WAY
5		CEILING FAN
5		COACH LIGHT
1		DOOR CHIME
5		FLUORESCENT LIGHT
3		PENDANT LIGHT
3		VANITY LIGHT - 3 LIGHT
2		SPOTLIGHT 2
2		DUPLEX - 65" ABOVE FINISHED FLOOR
2		CATS W/ TV - 65" ABOVE FINISHED FLOOR
1		FLUSH MOUNT LED LIGHT
1		VENT HOOD OUTLET



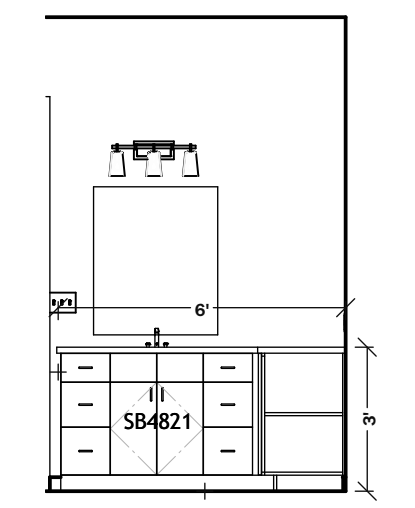
KITCHEN



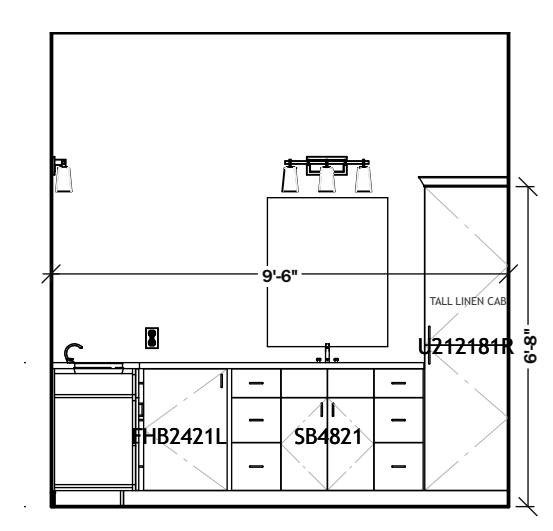
KITCHEN



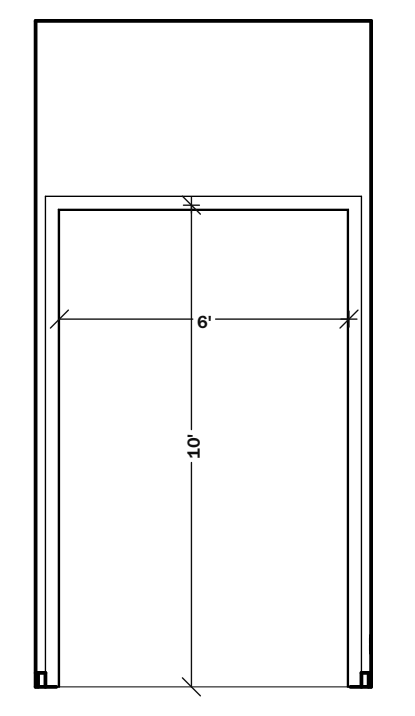
KITCHEN ISLAND



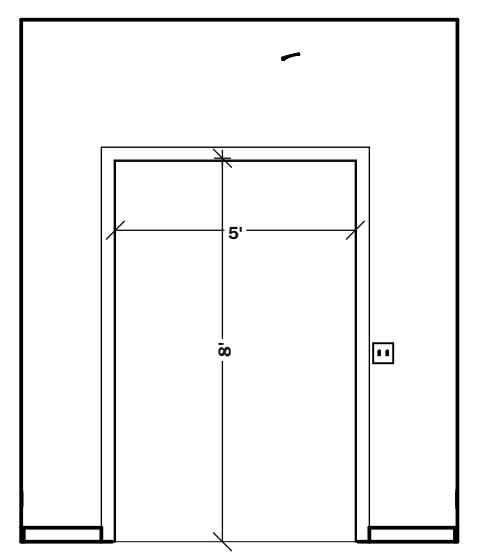
MASTER BATH



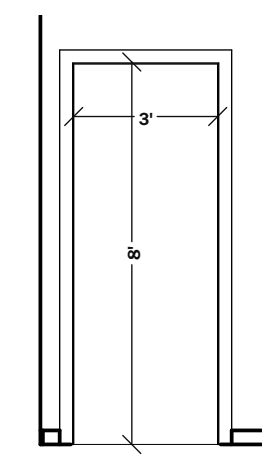
MASTER BATH



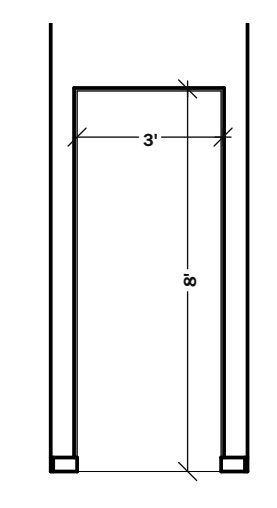
ENTRY



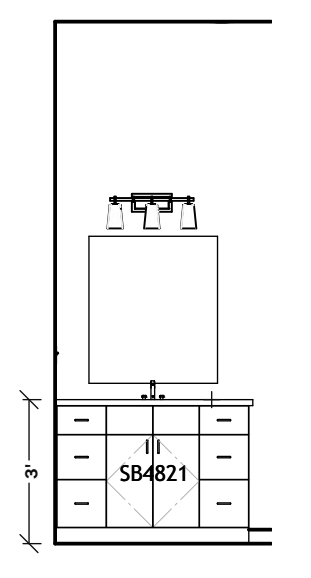
OFFICE



HALL



DINING



BATH 2

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FINAL

EVERVIEW
HOMES

BUILDER:

102 PRAIRE
LOT 20121
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PROJECT ADDRESS:

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1/4" = 1'

SHEET:
11