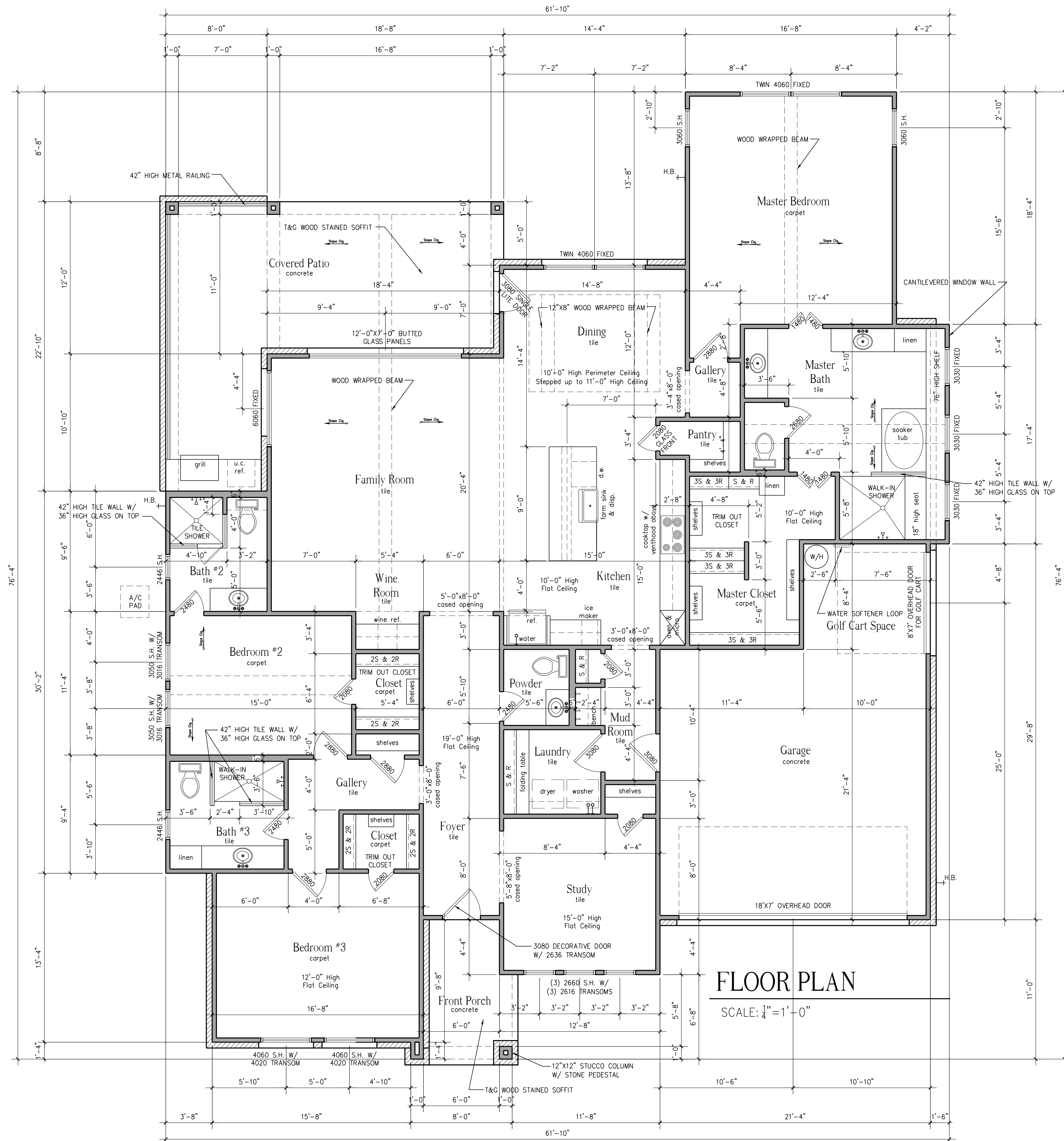


WORKING DRAWINGS SHALL NOT BE SCALED. CONTRACTOR AND /OR SUB-CONTRACTOR SHALL REVIEW AND VERIFY ALL NOTES AND MEASUREMENTS BEFORE PROCEEDING WITH ANY WORK OR ORDERING MATERIALS. VERIFY FOR CLARITY AND CONSULT CONTRACTOR OR FIELD MANAGER FOR ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS. GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE RESPONSIBLE TO INSURE CONSTRUCTION OF PROJECT MEETS ALL LOCAL AND APPLICABLE CODES. THESE DRAWINGS ARE OF BUILDERS TYPE AND THE DESIGNER/DRAFTER OF THIS SET OF PLANS, HEREBY NOTIFIES BOTH OWNER AND CONTRACTOR RELEASE OF LIABILITIES TO PROBLEMS AT THE JOB SITE IN REFERENCE TO SAID WORKING DRAWINGS.



| SQ. FOOTAGES | |
|---------------|------------|
| A/C Area | 2,752 S.F. |
| Garage | 539 S.F. |
| Covered Patio | 405 S.F. |
| Front Porch | 82 S.F. |
| Gross Area | 3,778 S.F. |

Stone Lug 52 S.F.

FLOOR PLAN
SCALE: 1/4" = 1'-0"

717 Indian Paint Trail

LLANO COUNTY, TEXAS

MICHAEL CORTEZ
DESIGN GROUP
(210) 860-6920
Everview Homes Plan 2752

DATE: 12-19-2022
REVISION DATE: 02-17-2023
REVISION DATE: 02-22-2023
REVISION DATE: 03-27-2023

SHEET

A-1